

landscape development application

Eleebana Shores - Seniors living retirement village development



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landscape design report

01

Eleebana Shores - Seniors living retirement village development

SITE - GENERAL DESCRIPTION

The following landscape Design Report has been prepared in accordance with the requirements of Lake Macquarie City Council Development Control Plan No.1 and Local Environment Plan 2004.

The site consists of two lots, is located on the eastern side of Burton Road, Mount Hutton and comprises an area of approximately 4.959 hectares. Lot 1 consists of a single storey residence with pool, horse paddocks and associated sheds. Lot 12 also contains a single storey residence, with additional sheds, horse paddocks and training yards extending further eastward than Lot 1. The majority of the site occurs within the 1(2) Rural (Living) Zone, whilst an approximate third of the site adjoining the eastern boundary is zoned 7(5) Environmental (Living). The Mount Hutton Area Plan identifies the site as being located within the Casson Avenue Precinct and as such is mainly characterised as "bushland and rural housing.". Its location affords distant views to vegetated hillsides and ridgelines to the south and west, whilst the site itself is bounded by small acerages to the north, east and south and Burton Road to the west, with more small acerages further westward. Ducks Crossing Restaurant is located to the sites immediate south. Refer to Viewpoint Location Plan for an indication of the ratio of developed to undeveloped environment. Site topography is relatively level, with a slight fall towards the north western boundary. Existing vegetation beyond the north western boundary has been identified identified as a potential bushfire hazard. A lateral offshoot of South Creek divides the eastern portion of the site and the associated remnant vegetation presents an additional bushfire hazard. Consideration must be given to the potential bushfire threat when retaining and rehabilitating the creekline vegetation.

SOIL TYPE

Site soil consists of Warners Bay (wa), as defined by the Department of Land and Water Conservation (Matthei, 1995). The soil landscape comprise moderately deep to deep soils on large slopes with broad crests and drainage lines. These soils are characterised as having a high water erosion, mass movement and foundation hazard and are located within a Mine Subsidence District. They are subject to seasonal waterlogging, with a moderate to high shrink-swell, are of low fertility and strongly acidic. It is possible that former clearing and building works have altered the original soil material, resulting in the existing site soil being of indeterminate horticultural value. It is recommended that excavated site topsoil be tested and ameliorated to a horticultural standard and incorporated into proposed mass planted areas. Should the required standard be unachievable, then imported growing media is recommended.

VEGETATION

Site vegetation once consisted of Tall Open Forest containing *Corymbia maculata* (Spotted Gum), *Eucalyptus punctata* (Grey Gum), *Eucalyptus umbra* (Bastard Mahogany), *Eucalyptus paniculata* (Grey Ironbark) and *Corymbia gummifera* (Red Bloodwood). *Melaleuca spp.* (Paperbark), *Eucalyptus robusta* (Swamp Mahogany) and *Casuarina glauca* (River Oak) occur in poorly drained areas. Most of these species are still present on site, either as individual specimens or (more commonly) in copses and more prevalent in the less-developed eastern quadrant of the site. A small portion of exotic trees are located within closer proximity to the residences, however the overall impression of the site landscape is that of a native theme. A significant proportion of the sites southern and eastern boundaries are screened by native vegetation, with only small pockets affording unobstructed views into the site. Screening vegetation occurs to a lesser degree along the northern boundary, which, in combination with elevated topography and higher density development along Casson Avenue results in a more significant view catchment. Refer to the Visual Impact Assessment for further discussion.

LANDSCAPE CHARACTER AND VISUAL AMENITY

The Mount Hutton Area Plan describes the Casson Avenue Precinct as comprising "a large area of bushland that forms part of the treed backdrop to the south-west of Mount Hutton. The area may be characterised as bushland and rural housing to the south with undeveloped Local Aboriginal Land Council holdings to the north."

As previously mentioned the site is located within a rural residential setting, surrounded by vegetated hillsides. Although higher density residential development (and a higher proportion of exotic landscape treatment) is present within half a kilometer of the site, the immediate vicinity has a distinctly native landscape character.

The greatest visual impact will be experienced by the brick residence located within 50m of the northern boundary. The residence is bounded by open turfed paddocks, minimal trees and no advanced screening shrubs, thus providing open views directly into the site. However there are immature screening shrubs recently planted along the common boundary which will provide privacy to this dwelling. A few residences on Casson Avenue will also experience some visual impact, which due to their higher elevations and intermittent vegetation have a combination of filtered and exposed views across paddocks to the site. However, this should not be considered exclusive of their rural-residential context, which includes of an extensive fencing network and several colorbond sheds in addition to residential dwellings. Visual access is also expectedly high from vehicles travelling along Burton Road. Existing vegetation currently provides significant screening to Lot 11 and intermittently along the western boundary of Lot 12.

PROPOSED DEVELOPMENT

The proposed development involves the demolition of all existing structures and the construction of an over 55s retirement village. This will consist of 61 new villas as single storey buildings and 40 new apartment within two storey apartment building. The proposed development shall also include a recreational centre which will be located in the eastern quadrant of the site. The proposed works will be set back approximately 10m from Burton Road and extent eastwards, with a significant landscape buffer to the main road interface to retain the rural character.

PROPOSED LANDSCAPE WORKS AND OBJECTIVES

The landscape objectives include several key elements:

1. Retention of existing rural streetscape character and set-back.
2. Retention of significant existing vegetation,
4. Provide extensive visual screening of the internal development density from both the street and the adjoining properties especially from the north in Casson Ave.
5. Extensive internal landscaping areas including common and private open space.
6. Pleasing open character to the internal areas of the development including passive garden areas, community spaces, circulatory pathway network, sitting areas and canopy tree planting throughout the site.

The arborist report identifies a large number of trees that are located along the Burton Road boundary that form a row that have a short life expectancy but action will be taken to extend their vigour and life expectancy. This will include the removal of turf grasses around the base and mulching. Complementary tree planting of native species within the front boundary setback is also proposed with a view to increasing the canopy cover and providing a dense thicket of clear trunks.

The landscape plans shows extensive complementary canopy planting that will significantly exceed the current planted canopy existing on site. Taller native tree plantings throughout ensure that the canopy vegetation continues through the site area rather than just peripheral planting areas. The extensive canopy cover shall continue into the site along the main entry road and throughout the overland flowpath connecting to the open around the drainage swale communal recreation areas. Refer to arborist report for further detail.

The access roads entering the site has been provided with a wide landscaped verge to allow extensive mass planting of screening landscape incorporating groundcovers, shrubs and canopy trees. This proposed landscape will provide a visual buffer when looking into the site, effectively screening the internal dwellings from Burton road. The overland flowpaths running north/ south across the site shall contain sandstone spillings along the approximate centreline with mass plantings of native grasses in organic shaped patterns to simulate the flow of water. Upper canopy planting throughout this area shall consist of *Melaleuca* species to reinforce the impression of a dry creek bed. This theme is continued through the site where drainage easements/ swales occur. When viewed from a distance, this area shall contribute to the existing canopy cover both on site and surrounds, further enhancing the rural character of the area. It also provides a well vegetated visual separation between the front and rear portions of the site, green avenues along two axis, thus increasing the visual amenity upon entering the site.

PROJECT:
Eleebana Shores
SITE:
Burton Road, Mt Hutton
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Eleebana Shores Retirement Pty Ltd.
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03.6.2014
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9861.5
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landscape design report

Eleebana Shores - Seniors living retirement village development

02

Landscaping to individual units aims to utilise solar access wherever possible to encourage a pleasant outdoor living area. Where rear yards are south-facing an additional deck area is set away from the building adjoined by a small deciduous tree to filter the intensity of summer sun. North facing sitting areas along the street interface shall also be offset with small deciduous trees to permit solar access and contribute to the streetscape. Where possible, drying areas are set away from external living areas and are accessed via large format pavers set into decorative gravel. Slatted screens or trellis systems shall screen the drying areas from outdoor living areas where required.

A 5 metre wide vegetated drainage swale with is proposed along the northern boundary. This is an opportunity to provide medium screening shrubs with upper canopy trees to provide filtered screening views from residences further northward of the site along Casson Ave where houses are on higher levels and have potential to view down into the site. The 5m swale with landscaping opportunities to this area allows tree planting to occur using tall endemic species. Tall canopy trees continue the canopy vegetation visible from distant areas. The inclusion of the drainage swale and dwelling locations away from the boundary prevent overshadowing from this landscape. Similar vegetated drainage swale is proposed along the southern boundary with incorporated areas for mass plantings of screening shrubs and tall endemic trees species.

Internal connecting pathways provide pedestrian links between parallel streets and assist in providing casual surveillance to these areas. Central nodal sitting areas points are provided along natural dry creek bed drainage easements, which provides informal meeting places for the residents. Screen planting shall adjoin the building lines, whilst smaller shrubs and grasses are proposed for the foreground to permit casual surveillance along the pathways. Raised pedestrian crossing thresholds are proposed intermittently throughout the site with raised decked seating areas that partially built over the easement providing resting points and informal meeting areas that look over a rural dry creekbed. Trees and low mass planting under with informal bushland walkways shall define these areas.

The eastern quadrant of the site consists of a Exclusion Zone. As no dwellings are permitted within this area, the retention of trees all existing trees will occur. Due to the development remaining outside of the 40m riparian corridor there will be no impact on the local native vegetation. All planted species to be retained within that zoning.

REFERENCES

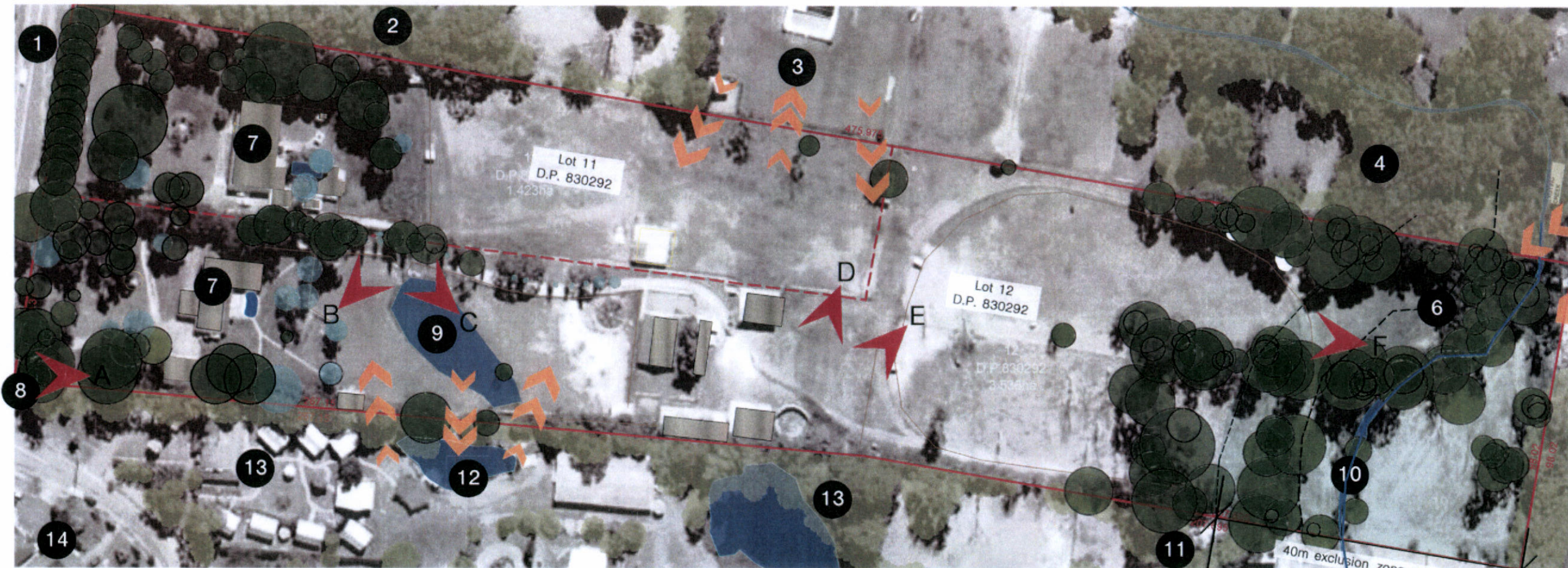
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NSW Rural Fire Service, 2006, *Planning For Bushfire Protection 2006, A Guide for Councils, Planners, Fire Authorities and Developers*, NSW Rural Fire Service.

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existing site conditions

Eleebana Shores - Seniors living retirement village development

03



LEGEND

- | | | | |
|---|---|----|--|
| 1 | Burton Road. | 10 | South Creek. |
| 2 | Existing vegetation screening site's northern boundary. | 11 | Existing vegetation outside of southern boundary obstruct views into site. |
| 3 | Views across open paddock to site from closest residence. | 12 | Open views across dam to south of site. |
| 4 | Existing vegetation to site's north east obstructing views into site. | 13 | Ducks Crossing Restaurant. |
| 5 | Filtered views through trees from residence to site's north east. | 14 | Eleebana Childrens Centre. |
| 6 | 20m riparian zone. | | Existing native trees. |
| 7 | Single storey residence. | | Existing exotic trees. |
| 8 | Filtered views through existing trees into site from Burton Road. | F | Site photo locations (Refer to L04 - L05) |
| 9 | Dam with overland flow as indicated along internal lot boundaries. | | |

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IMAGE A: View into site from Burton Street showing part of Ducks Crossing Restaurant to the right. (Refer Site Photo Locations 01).



IMAGE B: View towards south western boundary from within site indicating screening provided by existing vegetation and boundary fences.



IMAGE C: View southwards from within the eastern quadrant of the site indicating the existing dam, some of the sheds and stables.

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IMAGE D: View north from the approximate centre of the site indicating the exposure of the nearest residence to the site. Note immature screening shrubs planted outside of the subject sites boundary.



IMAGE E: View north from the approximate centre of the site indicating existing horse paddocks and remnant vegetation to the background. Note: Filtered views from residences to the north of the site.



IMAGE F: View east from creekline showing extent of remnant vegetation providing screening from residences. Potential bushfire hazard from this direction to be considered in landscape design.

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existing site tree plan

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06



LEGEND

-  Existing native trees to be retained.
-  Existing native trees to be removed.
-  Existing exotic trees to be removed.

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landscape base masterplan

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07

BUFFER PLANTING

A number of existing trees within the Burton Road frontage are to be retained, those that are to be removed will be replaced with mature plantings of similar native species. This will provide the desired screening and retain the rural feel.
[Refer to Arborist report for tree retention and removal].

MAIN ENTRANCE

Rural post and rail fence to front boundary to define the site and enhance the rural character of the area. Stone face entry planters at the entry with village logo and identifying signage. Small roof structures over the letterboxes and waiting/drop-off area.

BIO FILTRATION AREAS

Planted with native macrophyte planting to lower portions to include carex and ficinia.

Adjoining trees and shrubs.

DRAINAGE SWALE

5m wide drainage swale to northern and southern boundary. Refer to detail plan and section.

BUFFER PLANTING

Large and medium native canopy trees to northern boundary to provide visual link with existing vegetation and enhance rural character of the site. Understorey to consist of mixed mass planting of native screening shrubs, grasses and groundcovers to screen views into the site from adjoining northern properties. Smaller shrubs and grasses nearer to the road to enable clear sight lines along roadway.

NORTHERN FENCE

Rural style hardwood timber fence along the northern boundary along with screening planting to provide a visual buffer.

NEW PLANTINGS

Isolated new non interlocking canopy planting within an APZ to maintain ecological values in accordance with fire requirements.

LEGEND

- New evergreen trees
- New deciduous trees
- Avocado/Lemon/Lime trees
- New mass plantings
- New turf/ Synthetic turf
- Private tiled alfresco areas
- Coloured concrete pathways
- Public roadway/ footpath
- Drainage swale
- 1500mm Concrete block fence
- 500/1500mm Slatted screen
- 1800mm Colorbond fence
- Timber post and rail rural fence

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3m wide landscape drainage swale adjoining boundary along Burton Road.

TREE RETENTION

Trees to be retained within the site are to be protected in accordance with *AS4970-2009 Protection of Trees on Development Sites*. Measurements are to include but not limited to protective fencing offset to tree protection zone calculations as shown within the arborist report on drawings 01 + 02.

CROSSING THRESHOLD

Crossing threshold over the drainage swales to be finished in textured concrete and hardwood timber to create a rural bridge crossing that contrasts with the proposed roadways.

OVERLAND FLOWPATH

Native grasses and sandstone spillings as informal creekbed swale yet also provide areas for overland flow waters. These areas will be surrounded with native plantings, pergola structures on raised deck platforms and bench seating to provide residents with a natural reserve communal open space.

COMMUNAL OPEN SPACE

Pergola structures on raised deck platforms above the drainage swales to provide communal open space. The central natural reserves will provide meeting places for residents with seating, nature walks and a variety of communal fruiting trees like citrus, limes and avocado trees.

Adjoining trees and shrubs.

EXISTING FENCE

New post and rail fenceline along the southern boundary for a visual barrier into the site. Existing shrubbery in adjoining property provides additional screening and a green buffer.

Existing trees remaining onsite.

INNER PROTECTION AREA

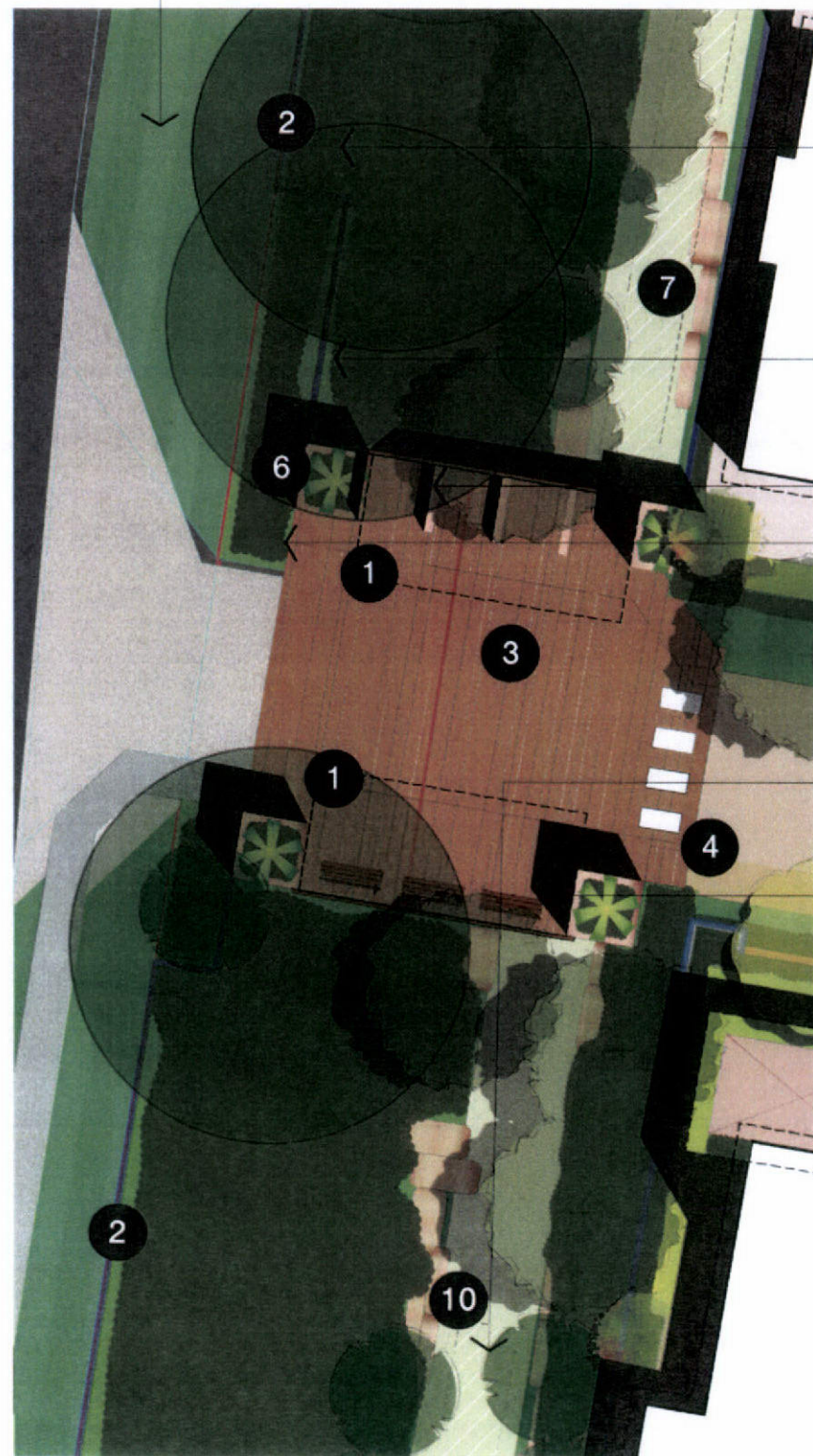
Existing inner protection area of 40m not to be developed and all existing vegetation to remain.

Multi stratum native vegetation area with new native tree and shrub plantings along with rehabilitation works.

entry concept detail

Eleebana Shores - Seniors living retirement village development

08



STREET TREE PLANTING

Native canopy trees to front street verge to add additional native screening as well as returning the native vegetation along Burton Road enhancing the local rural character of the development.

BUFFER PLANTING

Existing native canopy trees to front boundary setback. Existing Casuarina species to be retained where possible to keep a native screening on the Burton Road frontage. Planted canopy trees with large and medium native shrubs for additional screening planted either side of the 3m drainage swale which is also planted out with native macrophyte grasses. Planting style is to reflect local rural character of surrounding area.

ENTRY SIGNAGE

Metal lettering raised above groundcover plantings spelling out Eleebana Shores. Approximate height of letters is 600 - 800mm. Fixed to top of rural fenceline.

Undercover banks of letterboxes with temporary mail pickup parking.

MAIN ENTRANCE

Rural post and rail fence to front boundary to define the site and enhance the rural character of the area. Stone face entry planters at the entry with village logo and identifying signage. Small roof structures over the letterboxes and waiting/drop-off area. The surface finish to the entry bridge and other bridges within the development are to be textured concrete or hardwood timber to create a rural bridge crossing that contrasts with the proposed roadways.

BIO FILTRATION AREAS

Planted with native macrophyte planting to lower portions to include carex and ficinia.

Undercover waiting/ drop-off area for residents. The footpath from this location leads to the public bus stop with shelter on Burton Road.



LEGEND

- New evergreen trees
- New deciduous trees
- Avocado/Lemon/Lime trees
- New mass plantings
- New turf/ Synthetic turf
- Private tiled alfresco areas
- Coloured concrete pathways
- Public roadway/ footpath
- Drainage swale
- 1500mm Concrete block fence
- 500/1500mm Slatted screen
- 1800mm Colorbond fence
- Timber post and rail rural fence

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2

Refer to sheet 18 for materials + components images.

typical residential gardens detail

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09



LEGEND

- New evergreen trees
- New deciduous trees
- Avocado/Lemon/Lime trees
- New mass plantings
- New turf/ Synthetic turf
- Private tiled alfresco areas
- Coloured concrete pathways
- Public roadway/ footpath
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NORTHERN DECIDUOUS STREET TREES

Northern street frontages to have medium deciduous trees to provide shade during the summer months yet also provide sunlight into living spaces in the winter months.

NORTHERN OUTDOOR YARDS

1500mm high front wall that provides private outdoor space for dwellings that face north. Part concrete and aluminium slatting to provide part solid and open screening combined with mixed shrub planting. Private outdoor space to have synthetic turf to allocated areas.

REAR YARDS

Shade tolerant screening shrubs adjacent to southern aspect of buildings, with species of a higher sun tolerance where more exposed. Mature plant height graded from tall to low for tiered effect when viewed from sitting area. Small evergreen or deciduous trees where space permits to filter summer sun whilst permitting winter solar access. Private outdoor space to have synthetic turf to allocated areas.

FRONT YARD

Small evergreen trees where space permits along northern side of the road. Trees underplanted with small shrubs and grasses differing to each unit. Synthetic turf used with small grass area to give a green finish with little maintenance.

COMMON PATHWAYS

Oxide coloured concrete pathways set within road verge. 1200mm wide.

LAWNS

lawns to residential yards to provide open areas. May include synthetic lawns to small areas within yards.

SMALL TREES

Small evergreen and or deciduous trees where space permits to filter summer sun whilst permitting winter solar access.

COMMON BOUNDARY

1800mm high colorbond fence [shown in red] to common boundaries of these unit types. Due to close proximity of private open spaces and to enable of drying lines to fence.

SOUTHERN STREET TREES

Southern street frontages to have native evergreen trees along roads verge providing an avenue of greenery and provides additional privacy for residents.

STREET CARRIAGEWAY

Opportunity for small street tree plantings along streets carriageway to soften built element of the the residences. Low mass plantings and a strip of turf along the street to ensure sightlines are maintained.

2

Refer to sheet 18 for materials + components images.

typical apartment gardens detail

Eleebana Shores - Seniors living retirement village development

10



LEGEND

- New evergreen trees
- New deciduous trees
- Avocado/Lemon/Lime trees
- New mass plantings
- New turf/ Synthetic turf
- Private tiled alfresco areas
- Coloured concrete pathways
- Public roadway/ footpath
- Drainage swale
- 1500mm Concrete block fence
- 500/1500mm Slatted screen
- 1800mm Colorbond fence
- Timber post and rail rural fence

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SOUTHERN STREET TREES

Southern street frontages to have native evergreen trees along roads verge providing an avenue of greenery and provides additional privacy for residents.

STREET CARRIAGEWAY

Opportunity for small street tree plantings along streets carriageway to soften built element of the the residences. Low mass plantings and a strip of turf along the street to ensure sightlines are maintained.

BUFFER PLANTING

Large and medium native canopy trees between the apartment buildings along southern boundary to provide visual link with existing vegetation and enhance rural character of the site. Understorey to consist of mixed mass planting of native screening shrubs, grasses and groundcovers to filter views into the site from adjoining southern property.

VISITOR CARPARKING

Visitor car parking allowed for six car spaces along the street carriageway out the front of the apartment complex.

COMMON PATHWAYS

Oxide coloured concrete pathways set within road verge. 1200mm wide.

APARTMENT BALCONY SPACE

Covered balcony areas to all apartments both on bottom + top floors. Balconies look over into mass planted garden and medium to large trees, providing privacy and a green outlook.

DRAINAGE SWALE

Small and medium native canopy tree to upper embankment of southern side of the swale, underplanted with native shrubs. Macrophyte planting to lower portions to include carex and ficinia.

CANOPY TREES

Native trees to be planted to on mass in open space areas to replace trees lost during construction. Proposed tree canopy exceeds existing canopy coverage. Trees to be interplanted with mixed native shrubs, grasses and groundcovers.



2

Refer to sheet 18 for materials + components images.

communal areas detail

11

Eleebana Shores - Seniors living retirement village development



BUFFER PLANTING

Large and medium native canopy trees to northern boundary to provide visual link with existing vegetation and enhance rural character of the site. Understorey to consist of mixed mass planting of native screening shrubs, grasses and groundcovers to filter views into the site from adjoining northern properties. Smaller shrubs and grasses nearer to the road to enable clear sight lines along roadway.

BIO FILTRATION AREAS

Planted with native macrophyte planting to lower portions to include carex and ficinia.

COMMUNAL OPEN SPACE

Pergola structures on raised deck platforms above the drainage swales to provide communal open space. The central natural reserves will provide meeting places for residents with seating, nature walks and a variety of communal fruiting trees like citrus, limes and avocado trees.

CANOPY TREES

Native trees to be planted to on mass in open space areas to replace trees lost during construction. Proposed tree canopy exceeds existing canopy coverage. Trees to be interplanted with mixed native shrubs, grasses and groundcovers.

FENCING

Fencelines adjoining shared open space to be timber post and rail rural fence giving the feeling a greater connection to the outdoors and overall rural feel within the development.

STREET CARRIAGEWAY

Opportunity for small street tree plantings along streets carriageway to soften built element of the the residences. Low mass plantings and or a strip of turf along the street to ensure sightlines are maintained.

CROSSING THRESHOLD

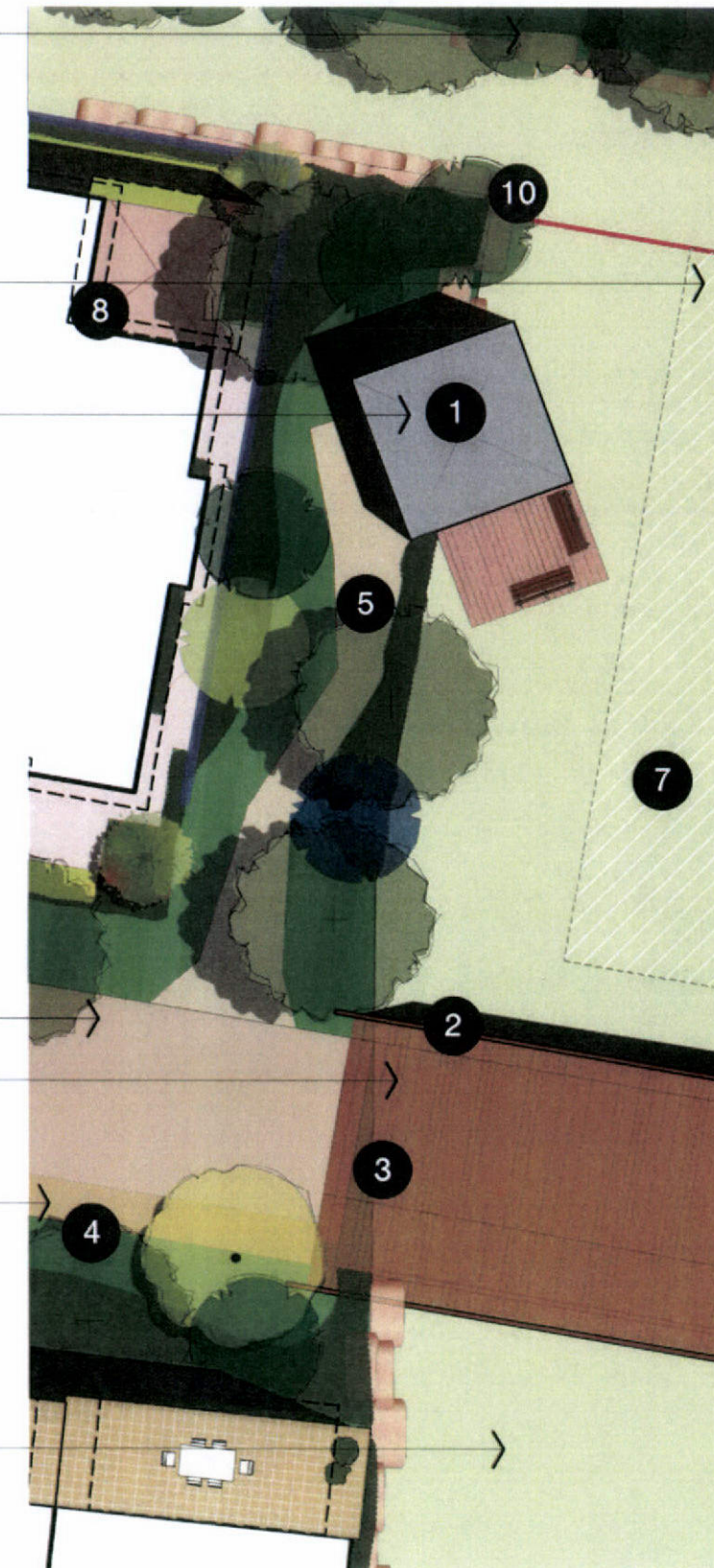
Crossing threshold over the drainage swales to be finished in textured concrete and hardwood timber to create a rural bridge crossing that contrasts with the proposed roadways.

COMMON PATHWAYS

Oxide coloured concrete pathways set within road verge. 1200mm wide.

OVERLAND FLOWPATH

Native grasses and sandstone spillings as informal creekbed swale yet also provide areas for overland flow waters. These areas will be surrounded with native plantings, pergola structures on raised deck platforms and bench seating to provide residents with a natural reserve communal open space.



LEGEND

- New evergreen trees
- New deciduous trees
- Avocado/Lemon/Lime trees
- New mass plantings
- New turf/ Synthetic turf
- Private tiled allresco areas
- Coloured concrete pathways
- Public roadway/ footpath
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- 1500mm Concrete block fence
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2 Refer to sheet 18 for materials + components images.

communal areas detail

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Eleebana Shores - Seniors living retirement village development



BUFFER PLANTING

Large and medium native canopy trees to northern boundary to provide visual link with existing vegetation and enhance rural character of the site. Understorey to consist of mixed mass planting of native screening shrubs, grasses and groundcovers to filter views into the site from adjoining northern properties. Smaller shrubs and grasses nearer to the road to enable clear sight lines along roadway.

COMMUNAL OPEN SPACE

Pergola structures on raised deck platforms above the drainage swales to provide communal open space. The central natural reserves will provide meeting places for residents with seating, nature walks and a variety of communal fruiting trees like citrus, limes and avocado trees.

BIO FILTRATION AREAS

Planted with native macrophyte planting to lower portions to include carex and ficinia.

CROSSING THRESHOLD

Crossing threshold over the drainage swales to be finished in textured concrete and hardwood timber to create a rural bridge crossing that contrasts with the proposed roadways.

CANOPY TREES

Native trees to be planted to on mass in open space areas to replace trees lost during construction. Proposed tree canopy exceeds existing canopy coverage. Trees to be interplanted with mixed native shrubs, grasses and groundcovers.

FENCING

Fencelines adjoining shared open space to be timber post and rail rural fence giving the feeling a greater connection to the outdoors and overall rural feel within the development.

STREET CARRIAGEWAY

Opportunity for small street tree plantings along streets carriageway to soften built element of the the residences. Low mass plantings and or a strip of turf along the street to ensure sightlines are maintained.

COMMON PATHWAYS

Oxide coloured concrete pathways set within road verge. 1200mm wide.

OVERLAND FLOWPATH

Native grasses and sandstone spillings as informal creekbed swale yet also provide areas for overland flow waters. These areas will be surrounded with native plantings, pergola structures on raised deck platforms and bench seating to provide residents with a natural reserve communal open space.

2 Refer to sheet 18 for materials + components images.



LEGEND

- New evergreen trees
- New deciduous trees
- Avocado/Lemon/Lime trees
- New mass plantings
- New turf/ Synthetic turf
- Private tiled alfresco areas
- Coloured concrete pathways
- Public roadway/ footpath
- Drainage swale
- 1500mm Concrete block fence
- 500/1500mm Slatted screen
- 1800mm Colorbond fence
- Timber post and rail rural fence

PROJECT:
Eleebana Shores
SITE:
Burton Road, Mt Hutton
CLIENT:
Eleebana Shores Retirement Pty Ltd
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03.6.2014
JOB NUMBER:
9861.5
DRAWN:
BJR
SCALE:
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landscape section details 1/2

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Eleebana Shores - Seniors living retirement village development

SECTION 01

DRAINAGE SWALE

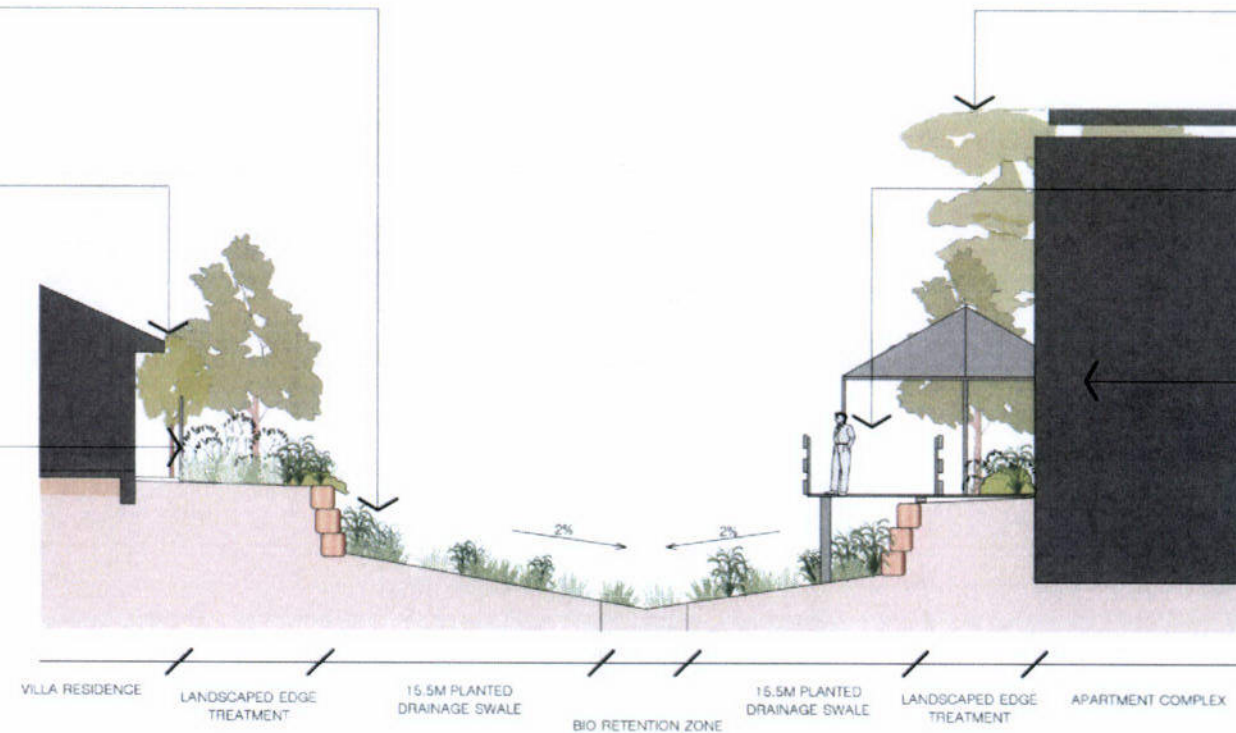
Small and medium native canopy tree to upper embankment of northern side of the swale, underplanted with native shrubs. Macrophyte planting to lower portions to include carex and ficinia.

SMALL TREES

Small evergreen and or deciduous trees where space permits to filter summer sun whilst permitting winter solar access.

FENCING

Fencelines adjoining shared open space to be timber post and rail rural fence giving the feeling a greater connection to the outdoors and overall rural feel within the development.



CANOPY TREES

Generally trees to be planted at approximately 4m centres, to encourage strong upright growth. Trees to be interplanted with mixed native shrubs.

COMMUNAL OPEN SPACE

Pergola structures on raised deck platforms above the drainage swales to provide communal open space. The central natural reserves will provide meeting places for residents with seating, nature walks and a variety of communal fruiting trees like citrus, limes and avocado trees.

APARTMENT BALCONY SPACE

Covered balcony areas to all apartments both on bottom + top floors. Balconies look over into mass planted swale and gardens with medium to large trees, providing privacy and a green outlook.

SECTION 02

CANOPY TREES

Generally trees to be planted at approximately 4m centres, to encourage strong upright growth. Trees to be interplanted with mixed native shrubs.

APARTMENT BALCONY SPACE

Covered balcony areas to all apartments both on bottom + top floors. Balconies look over into mass planted swale and gardens with medium to large trees, providing privacy and a green outlook.

DRAINAGE SWALE

Small retaining wall made of sandstone stacking blocks along the northern boundary that adjoins the swale with large screening shrubs to edge and macrophyte plantings within basin of swale.



BUFFER PLANTING

Large and medium native canopy trees between the apartment buildings to provide visual link with surrounding existing vegetation and enhance rural character of the site. Understorey to consist of mixed mass planting of native screening shrubs, grasses and groundcovers to filter views into apartment residences from street carrieway.

COMMUNAL OPEN SPACE

Pergola structures on raised deck platforms above the drainage swales to provide communal open space. The central natural reserves will provide meeting places for residents with seating, nature walks and a variety of communal fruiting trees like citrus, limes and avocado trees.

OVERLAND FLOWPATH

Native grasses and sandstone spillings as informal creekbed swale yet also provide areas for overland flow waters. These areas will be surrounded with native plantings, pergola structures on raised deck platforms and bench seating to provide residents with a natural reserve communal open space.

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Eleebana Shores - Seniors living retirement village development

SECTION 03

COMMON BOUNDARY

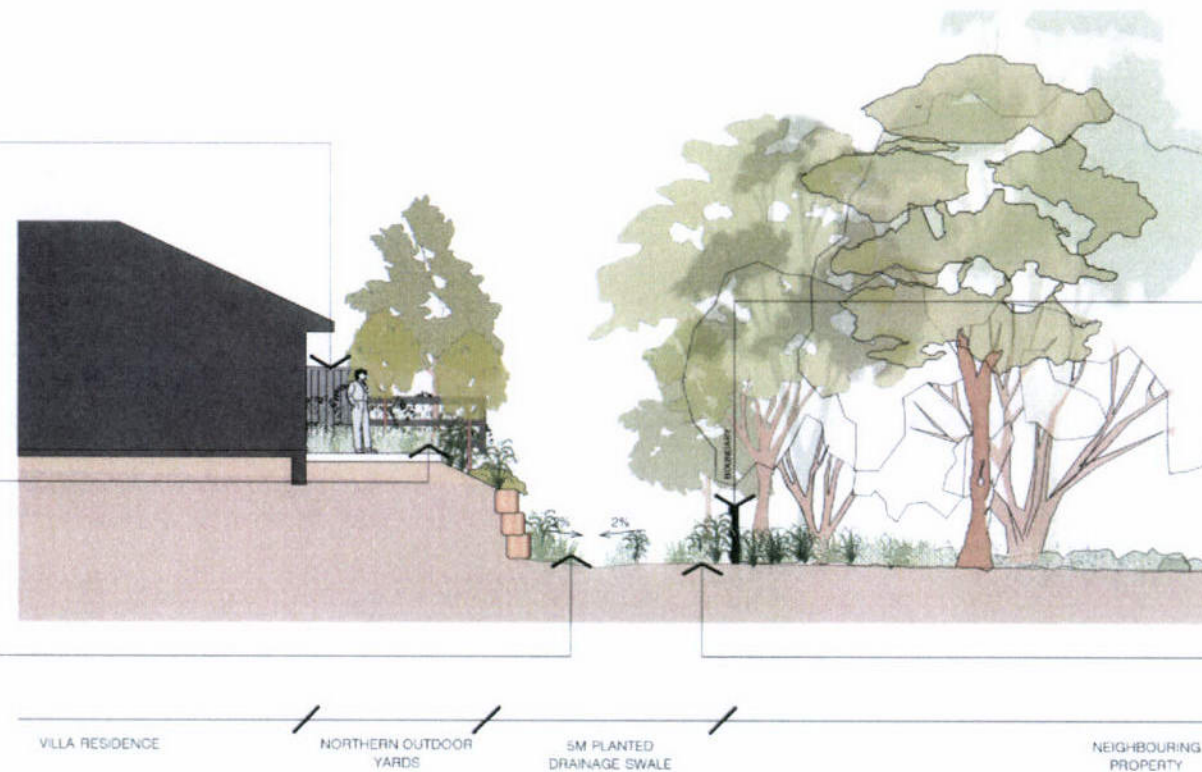
1800mm high colorbond fence where common side boundary adjoins drying area: to screen and facilitate fixing of drying lines. Timber post and rail fence to remainder of common boundary to reflect the rural theme of the locality.

REAR YARD PLANTINGS

Small deciduous feature tree as accent point when viewed from private open space. Underplanted with mixed shrubs, grasses, groundcovers and accents plantings taken from planting schedules.

DRAINAGE SWALE

Small retaining wall made of sandstone stacking blocks along the northern boundary that adjoins the swale with large screening shrubs to edge and macrophyte plantings within basin of swale.



NORTHERN BOUNDARY

New post and rail fenceline to be installed along northern boundary, so as to permit views from adjacent residences into the revegetated drainage swale. Large screening shrubs towards the boundary line to create a green screen when viewed from northern adjoining properties.

DRAINAGE SWALE

Small and medium native canopy tree to upper embankment of northern side of the swale, underplanted with native shrubs. Macrophyte planting to lower portions to include carex and ficinia.

SECTION 04

CANOPY TREES

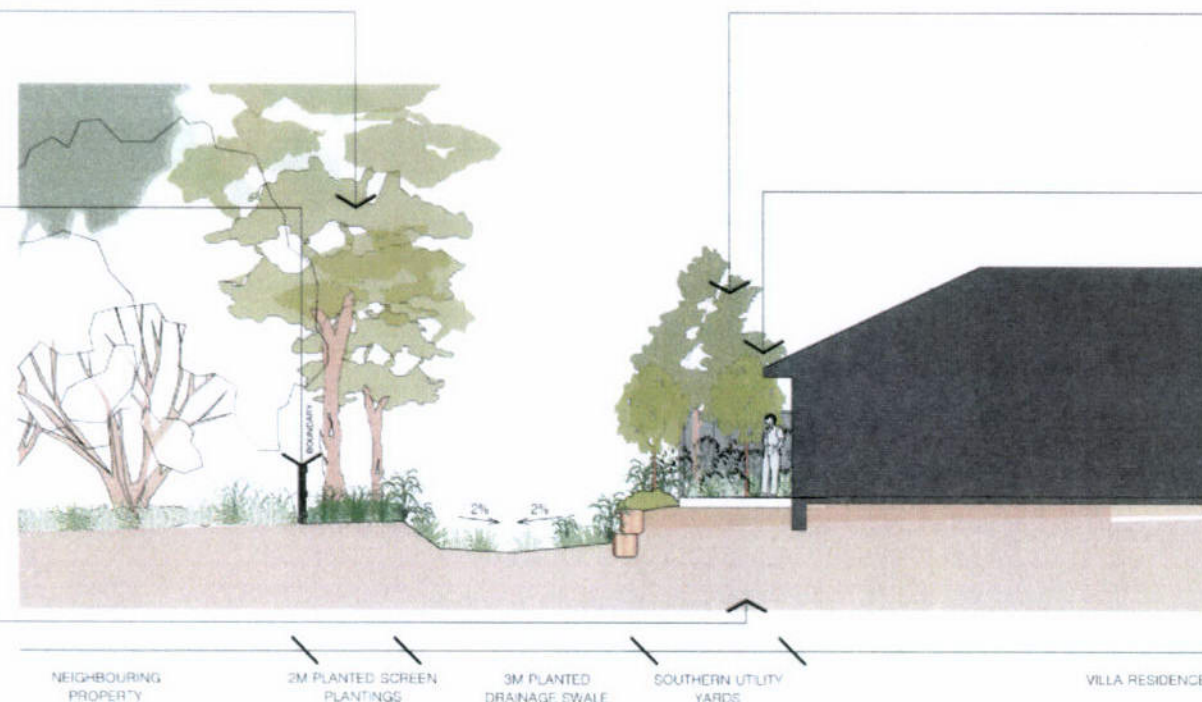
Generally trees to be planted at approximately 4m centres, to encourage strong upright growth. Trees to be interplanted with mixed native shrubs.

SOUTHERN BOUNDARY

New post and rail fenceline to be installed along southern boundary, so as to retain privacy from adjacent residences into the revegetated drainage swale. Large screening shrubs towards the boundary line to create a green screen when viewed from southern adjoining properties.

DRAINAGE SWALE

Small and medium native canopy tree to upper embankment of southern side of the swale, underplanted with native shrubs. Macrophyte planting to lower portions to include carex and ficinia.



SOUTHERN NATIVE TREES

Southern swale frontages to have medium native trees to provide added screening to the property and to add to the rural surrounds.

SOUTHERN UTILITY YARDS

Rear gardens of southern properties generally have small outdoor living spaces as the major exterior living areas are positioned on the northerly position of the residence. Rear gardens to contain clothes line and water tanks.

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landscape section details 5/6

Eleebana Shores - Seniors living retirement village development

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SECTION 05

COMMON BOUNDARY

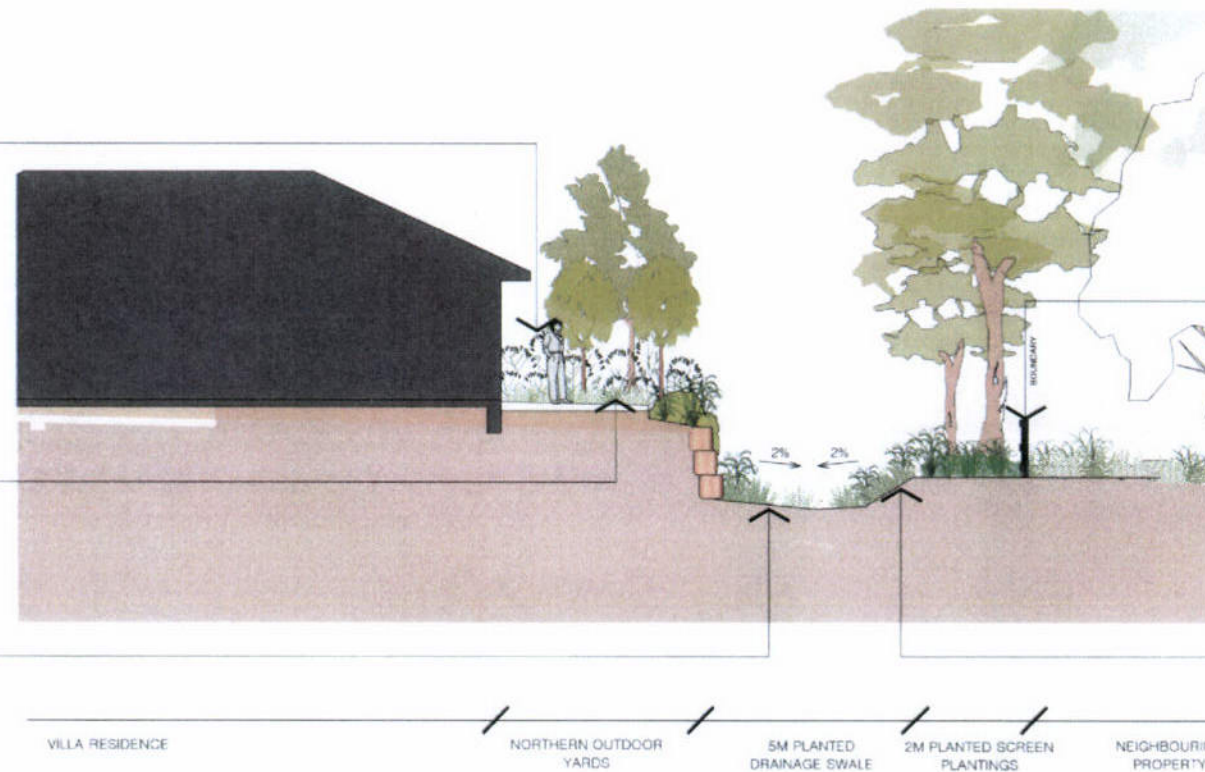
1800mm high colorbond fence where common side boundary adjoins drying area: to screen and facilitate fixing of drying lines. Timber post and rail fence to remainder of common boundary to reflect the rural theme of the locality.

REAR YARD PLANTINGS

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DRAINAGE SWALE

Small retaining wall made of sandstone stacking blocks along the northern boundary that adjoins the swale with large screening shrubs to edge and macrophyte plantings within basin of swale.



NORTHERN BOUNDARY

New post and rail fenceline to be installed along northern boundary, so as to permit views from adjacent residences into the revegetated drainage swale. Large screening shrubs towards the boundary line to create a green screen when viewed from northern adjoining properties.

DRAINAGE SWALE

Small and medium native canopy tree to upper embankment of northern side of the swale, underplanted with native shrubs. Macrophyte planting to lower portions to include carex and ficinia.

SECTION 06

CANOPY TREES

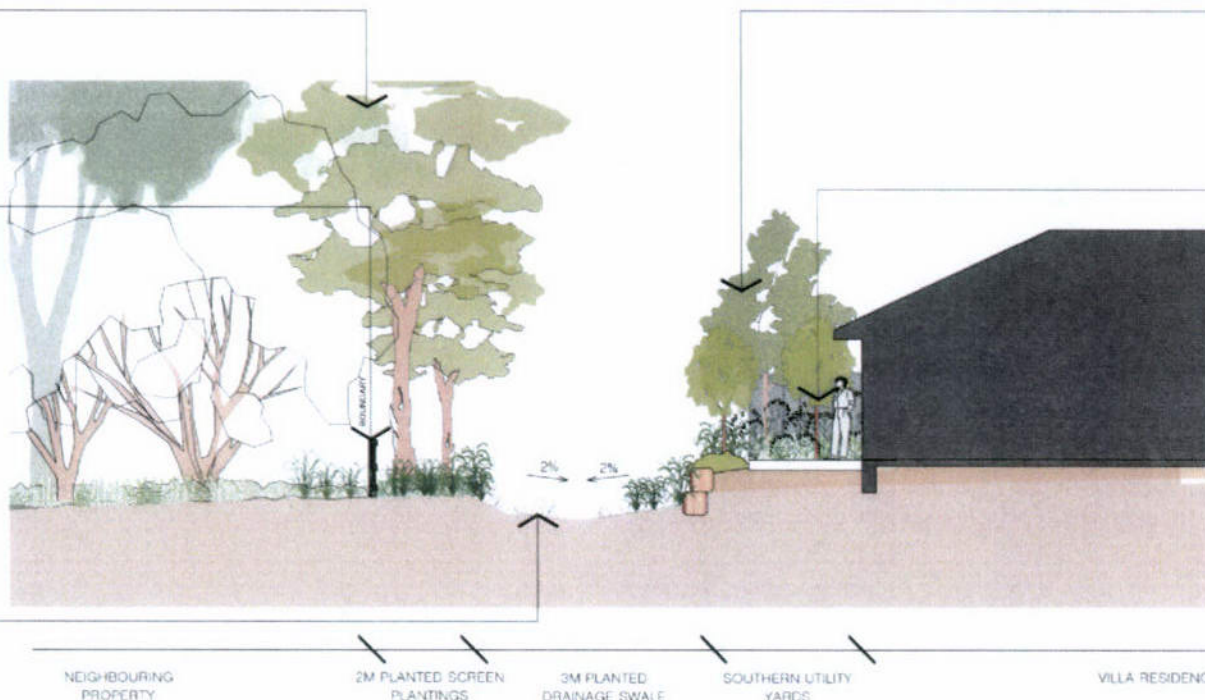
Generally trees to be planted at approximately 4m centres, to encourage strong upright growth. Trees to be interplanted with mixed native shrubs.

SOUTHERN BOUNDARY

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DRAINAGE SWALE

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landscape section details 7/8

Eleebana Shores - Seniors living retirement village development

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SECTION 07

COMMON BOUNDARY

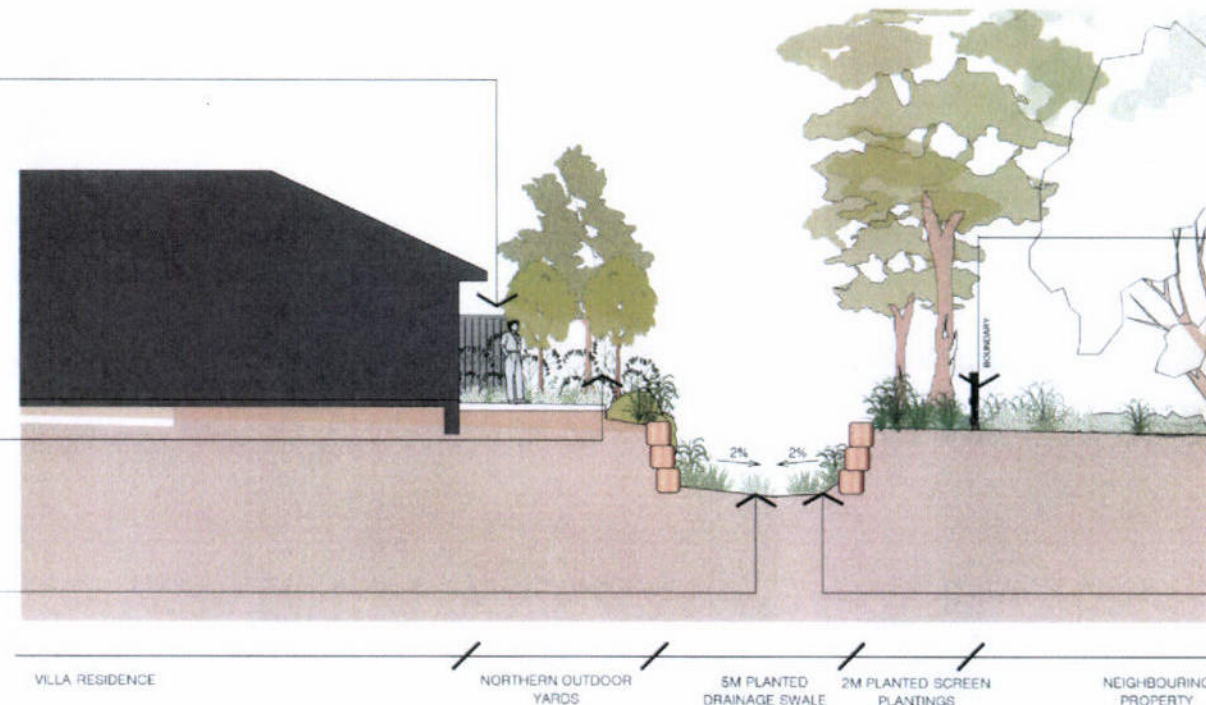
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REAR YARD PLANTINGS

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DRAINAGE SWALE

Small retaining wall made of sandstone stacking blocks along the northern boundary that adjoins the swale with large screening shrubs to edge and macrophyte plantings within basin of swale.



NORTHERN BOUNDARY

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DRAINAGE SWALE

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SECTION 08

CANOPY TREES

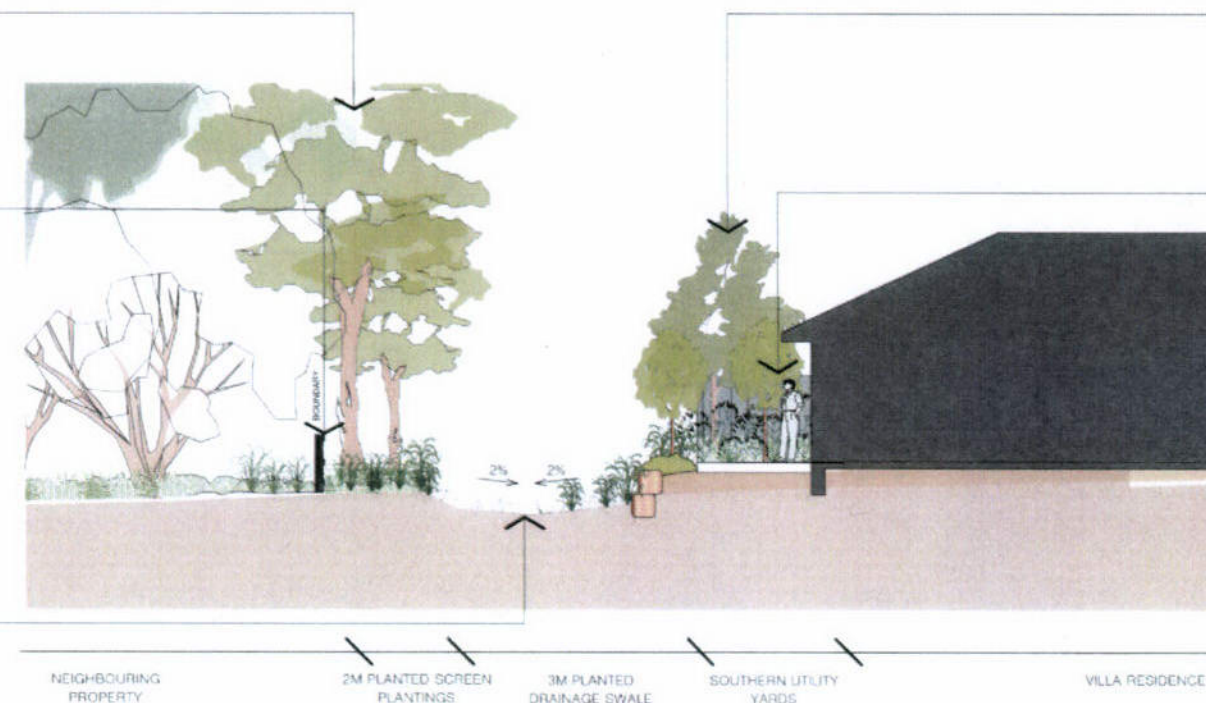
Generally trees to be planted at approximately 4m centres, to encourage strong upright growth. Trees to be interplanted with mixed native shrubs.

SOUTHERN BOUNDARY

New post and rail fenceline to be installed along southern boundary, so as to retain privacy from adjacent residences into the revegetated drainage swale. Large screening shrubs towards the boundary line to create a green screen when viewed from southern adjoining properties.

DRAINAGE SWALE

Small and medium native canopy tree to upper embankment of southern side of the swale, underplanted with native shrubs. Macrophyte planting to lower portions to include carex and ficinia.



SOUTHERN NATIVE TREES

Southern swale frontages to have medium native trees to provide added screening to the property and to add to the rural surrounds.

SOUTHERN UTILITY YARDS

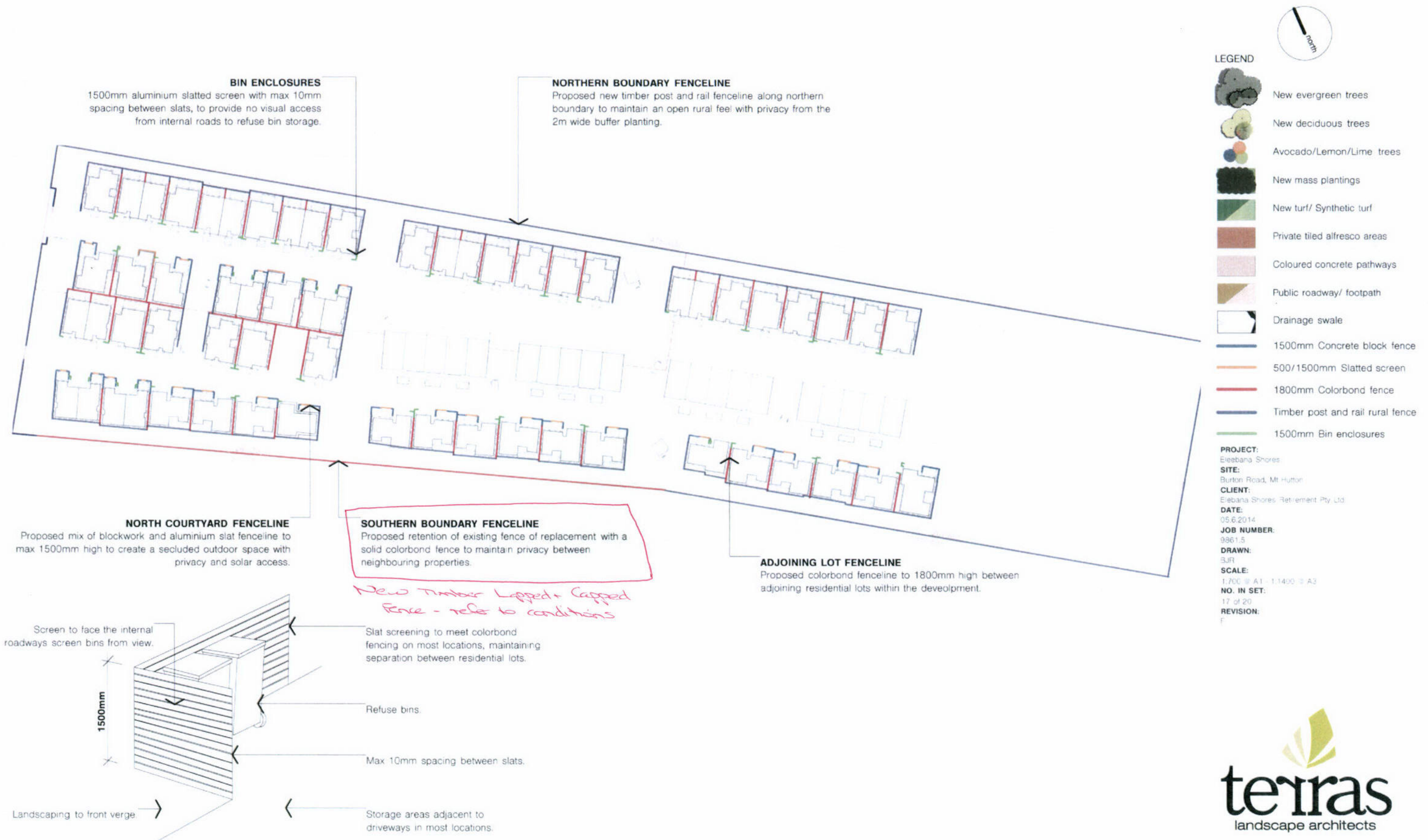
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proposed fencing plan

Eleebana Shores - Seniors living retirement village development

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common area planting schedules

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Eleebana Shores - Seniors living retirement village development

PLANT SCHEDULE - OVERLAND FLOWPATH, BOUNDARY + SETBACKS

ABV	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE SIZE
TREES				
AC	<i>Angophora costata</i>	Smooth Barked Apple	45 litre	25 x 6m
CR	<i>Casuarina glauca</i>	Swamp Oak	45 litre	20 x 6m
CM	<i>Corymbia maculata</i>	Spotted Gum	45 litre	25 x 7m
EG	<i>Eucalyptus gummifera</i>	Red Bloodwood	45 litre	25 x 7m
EM	<i>Eucalyptus microcorys</i>	Tallowood	45 litre	35 x 8m
EP	<i>Eucalyptus punctata</i>	Grey Gum	45 litre	30 x 8m
EU	<i>Eucalyptus umbra</i>	Bastard Mahogany	45 litre	25 x 8m
MQ	<i>Melaleuca quinquenervia</i>	Broad Leaved Paperbark	45 litre	9 x 5m
TL	<i>Tristanopsis laurina</i>	Water Gum	45 litre	10 x 4m

SHRUBS

Ac	<i>Acacia spp.</i>	Wattle	5 litre	Variable
Am	<i>Acmena spp.</i>	Dwarf Lilly Pilly	5 litre	Variable
Bs	<i>Banksia spp.</i>	Banksia	5 litre	Variable
Ca	<i>Callistemon spp.</i>	Bottlebrush	5 litre	Variable
De	<i>Doryanthes excelsa</i>	Gynea Lily	5 litre	2m
Ms	<i>Melaleuca spp.</i>	Paperbark	5 litre	Variable
Sy	<i>Syzygium sp & cvs</i>	Lilly Pilly	5 litre	Variable
Wz	<i>Westringia cvs</i>	Coast Rosemary	2.5 litre	Variable

GRASSES

Ca	<i>Carex appressa</i>	Tussock Sedge	viro-tube	1 x 1m
In	<i>Isolepis nodosa</i>	Knobby Club Rush	viro-tube	1 x 1m
Ju	<i>Juncus usitatus</i>	Common Rush	viro-tube	0.8 x 0.7m
Li	<i>Lomandra longifolia</i>	Mat Rush	2.5 litre	1 x 1m
Lt	<i>Lomandra 'Tanika'</i>	Dwarf Mat Rush	2.5 litre	0.8 x 0.7m
Sv	<i>Schoenoplectus validus</i>	River Clubrush	viro-tube	1.2 x 1m

GROUNDCOVERS

Hs	<i>Hibbertia scandens</i>	Guinea Flower	2.5 litre	
Hv	<i>Hardenbergia violacea</i>	False Sasparilla	2.5 litre	
Kr	<i>Kennedia rubicinda</i>	Red Kennedy Pea	2.5 litre	
Pp	<i>Pandorea pandorana</i>	Wonga Wonga Vine	2.5 litre	

MEDIUM ACCENT

Ae	<i>Aspidistra elatior</i>	Cast Iron Plant	2.5 litre	0.6 x 0.5m
An	<i>Asplenium nidus</i>	Bird's Nest Fern	2.5 litre	0.75 x 1.2m
Bs	<i>Blechnum 'Silver Lady'</i>	Water Fern	2.5 litre	0.9 x 0.7m
Cc	<i>Cordyline cvs</i>	Cordyline	2.5 litre	Variable
Px	<i>Philodendron 'Xanadu'</i>	Dwarf Philodendron	2.5 litre	0.5 x 0.5m

GROUNDCOVERS

Aj	<i>Ajuga reptans 'Catlins Giant'</i>	Giant Bugle	2.5 litre	
Oj	<i>Ophiopogon japonicus</i>	Mondo Grass	2.5 litre	
Vo	<i>Viola hederacea</i>	Native Violet	2.5 litre	

PLANT SCHEDULE - FRONT GARDENS + STREET TREES

ABV	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE SIZE
TREES				
CR	<i>Corymbia 'Summer Red'</i>	Dwarf Red Eucalyptus	100 75 litre	5 x 2.5m
LO	<i>Liquidambar orientalis</i>	Dwarf Liquidambar	100 75 litre	10 x 5m
LI	<i>Lagerstroemia indica</i>	Crepe Myrtle	100 75 litre	4 x 4m
PY	<i>Pyrus 'Capital'</i>	Capital Pear	100 75 litre	11 x 3m
SA	<i>Syzygium australe 'Pinnacle'</i>	Pinnacle	100 75 litre	3 x 1.5m
TL	<i>Tristanopsis laurina 'Luscious'</i>	Water Gum	100 75 litre	9 x 4m
WF	<i>Waterhousia floribunda</i>	Weeping Lilly Pilly	100 75 litre	10 x 5m

FRUITING TREES

-	<i>Persea americana</i>	Avocado tree	25 litre	
-	<i>Citrus aurantifolia</i>	Tahitian Lime	25 litre	
-	<i>Citrus x limon</i>	Lemon Tree	25 litre	

SHRUBS

Ah	<i>Acmena 'Hot Flush'</i>	Dwarf Lilly Pilly	5 litre	3 x 1.5m
Bb	<i>Banksia 'Birthday Candles'</i>	Dwarf Banksia	2.5 litre	0.45 x 0.65m
Cd	<i>Callistemon 'Captian Cook'</i>	Dwarf Bottlebrush	5 litre	1.5 x 1.2m
Cs	<i>Camellia sasanqua 'White'</i>	Camellia	5 litre	3 x 1.5m
Ga	<i>Gardenia augusta 'Florida'</i>	Gardenia	5 litre	1.5 x 1.2m
Gr	<i>Grevillea 'Robyn Gordon'</i>	Grevillea	2.5 litre	1.5 x 1.2m
Mf	<i>Michelia figo</i>	Port Wine Magnolia	5 litre	4 x 3.5m
Mp	<i>Murraya paniculata</i>	Murraya	5 litre	4 x 2m
Mt	<i>Metrosideros 'Tahiti'</i>	Dwarf NZ Christmas Bush	5 litre	1 x 0.8m
Ro	<i>Raphiolepis 'Oriental Pearl'</i>	Dwarf Indian Hawthorn	2.5 litre	1 x 0.8m
Sc	<i>Syzygium 'Cascade'</i>	Dwarf Lilly Pilly	5 litre	2.5 x 1.5m
Vo	<i>Viburnum odoratissimum 'Emerald Lustre'</i>	Glossy Viburnum	5 litre	4.5 x 2m
Wz	<i>Westringia 'Zena'</i>	Dwarf Coast Rosemary	2.5 litre	0.8 x 0.8m

ACCENTS

Ca	<i>Cordyline australis 'Sundance'</i>	Cordyline	15 litre	2 x 1.2m
Cy	<i>Cycas revoluta</i>	Cycad	15 litre	1.5 x 1.2m
De	<i>Doryanthes excelsa</i>	Gynea Lily	15 litre	1.5 x 1.5m
Pt	<i>Phormium tenax</i>	NZ Flax	5 litre	1.5 x 1.2m
Mc	<i>Macrozamia communis</i>	Burrawang	15 litre	1.5 x 1.5m

GRASSES

Ap	<i>Agapanthus praecox</i>	Agapanthus	2.5 litre	0.4 x 0.4m
Lm	<i>Liriope 'Evergreen Giant'</i>	Lily Turf	2.5 litre	0.6 x 0.4m
Lg	<i>Libertia grandiflora</i>	NZ Satin Flower	2.5 litre	0.5 x 1m

GROUNDCOVERS

Ar	<i>Ajuga reptans 'Catlins Giant'</i>	Giant Bugle	2.5 litre	
Mp	<i>Myoporum parvifolium 'Fine Leaf Form'</i>	Creeping Boobialla	2.5 litre	
Jc	<i>Juniperus conferta</i>	Shore Juniper	2.5 litre	
Tj	<i>Trachelospermum jasminoides</i>	Star Jasmine	2.5 litre	
Vo	<i>Viola hederacea</i>	Native Violet	2.5 litre	

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residential planting schedules

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Eleebana Shores - Seniors living retirement village development

PLANT SCHEDULE - REAR YARD TYPE 1 - SHADE

ABV	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE SIZE
TREES				
AP	<i>Acer palmatum</i> 'Sango Kaku'	Japanese Maple	75 litre	6 x 4.5m
CR	<i>Corymbia</i> 'Summer Red'	Dwarf Red Eucalyptus	75 litre	5 x 2.5m
EL	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	25 litre	7 x 3m
HF	<i>Hymenosporum flavum</i>	Native Franipanni	25 litre	7 x 3m
LI	<i>Lagerstroemia indica</i>	Crepe Myrtle	75 litre	4 x 4m
MG	<i>Magnolia grandiflora</i>	Little Gem	25 litre	6 x 4m
TL	<i>Tristanopsis laurina</i> 'Luscious'	Water Gum	75 litre	9 x 4m

LARGE SHRUBS

Ah	<i>Acmena</i> 'Hot Flush'	Dwarf Lilly Pilly	5 litre	3 x 1.5m
Cs	<i>Camellia sasanqua</i>	Camellia	5 litre	4 x 1.5m
Mp	<i>Murraya paniculata</i>	Murraya	5 litre	4 x 2m
Sc	<i>Syzygium</i> 'Cascade'	Dwarf Lilly Pilly	5 litre	2.5 x 1.5m

MEDIUM SHRUBS

Ah	<i>Acmena</i> 'Hedgemaster'	Dwarf Lilly Pilly	5 litre	1.5 x 1m
Ct	<i>Choysia ternata</i>	Mexican Orange Blossom	5 litre	1.5 x 1.5m
Ga	<i>Gardenia augusta</i> 'Florida'	Gardenia	5 litre	1.5 x 1.2m
Hm	<i>Hydrangea macrophylla</i>	Hydrangea	5 litre	1.2 x 1.2m
Lc	<i>Loropetalum chinense</i>	Fringe Flower	5 litre	1.8 x 1.5m

SMALL SHRUBS

Aa	<i>Acmena</i> 'Allyn Magic'	Dwarf Lilly Pilly	2.5 litre	0.5 x 0.5m
Bm	<i>Buxus microphylla</i> var. <i>microphylla</i>	Dwarf Box	2.5 litre	0.3 x 0.3m
Cd	<i>Camellia sasanqua</i> 'Dwarf'	Dwarf Camellia	2.5 litre	1 x 0.5m
Cc	<i>Coprosma cvs</i>	Mirror Plant	2.5 litre	1.5 x 1.2m
In	<i>Impatiens</i> 'New Guinea Hybrids'	Hybrid Impatiens	2.5 litre	0.4 x 0.4m
Ng	<i>Nandina</i> 'Gulf Stream'	Dwarf Sacred Bamboo	2.5 litre	0.75 x 0.4m

LARGE ACCENT

Am	<i>Acanthus molis</i>	Oyster Plant	5 litre	1.2 x 1m
Ca	<i>Cordyline australis</i> 'Sundance'	Cordyline	5 litre	2 x 1.2m
Cy	<i>Cycas revoluta</i>	Cycad	15 litre	1.5 x 1.2m

MEDIUM ACCENT

Ae	<i>Aspidistra elatior</i>	Cast Iron Plant	2.5 litre	0.6 x 0.5m
An	<i>Asplenium nidus</i>	Bird's Nest Fern	2.5 litre	0.75 x 1.2m
Bs	<i>Blechnum</i> 'Silver Lady'	Water Fern	2.5 litre	0.9 x 0.7m
Cc	<i>Cordyline cvs</i>	Cordyline	2.5 litre	Variable
Px	<i>Philodendron</i> 'Xanadu'	Dwarf Philodendron	2.5 litre	0.5 x 0.5m

SMALL ACCENT

Cm	<i>Clivea miniata</i>	Clivea	2.5 litre	0.4 x 0.3m
Bn	<i>Blechnum nudum</i>	Water Fern	2.5 litre	0.4 x 0.3m
Lm	<i>Liriope muscari</i>	Lily Turf	2.5 litre	0.3 x 0.3m

GROUNDCOVERS

Aj	<i>Ajuga reptans</i> 'Catkins Giant'	Giant Bugle	2.5 litre	
Oj	<i>Ophiopogon japonicus</i>	Mondo Grass	2.5 litre	
Vo	<i>Viola hederacea</i>	Native Violet	2.5 litre	

PLANT SCHEDULE - REAR YARD TYPE 1 - SUN

ABV	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE SIZE
TREES				
AP	<i>Acer palmatum</i> 'Sango Kaku'	Japanese Maple	75 litre	6 x 4.5m
CR	<i>Corymbia</i> 'Summer Red'	Dwarf Red Eucalyptus	75 litre	5 x 2.5m
EL	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	25 litre	7 x 3m
HF	<i>Hymenosporum flavum</i>	Native Franipanni	25 litre	7 x 3m
LI	<i>Lagerstroemia indica</i>	Crepe Myrtle	75 litre	4 x 4m
MG	<i>Magnolia grandiflora</i>	Little Gem	25 litre	6 x 4m
TL	<i>Tristanopsis laurina</i> 'Luscious'	Water Gum	75 litre	9 x 4m

LARGE SHRUBS

Ah	<i>Acmena</i> 'Hot Flush'	Dwarf Lilly Pilly	5 litre	3 x 1.5m
Cd	<i>Callistemon</i> 'Dawson River Weeper'	Weeping Bottlebrush	5 litre	4 x 2m
Mf	<i>Michelia figo</i>	Port Wine Magnolia	5 litre	4 x 3.5m
Mp	<i>Murraya paniculata</i>	Murraya	5 litre	4 x 2m
Sc	<i>Syzygium</i> 'Cascade'	Dwarf Lilly Pilly	5 litre	2.5 x 1.5m
Vo	<i>Viburnum odoratissimum</i> 'Emerald Lustre'	Glossy Viburnum	5 litre	4.5 x 2m

MEDIUM SHRUBS

Ab	<i>Abelia x grandiflora</i> 'Francis Mason'	Golden Abelia	2.5 litre	1.8 x 1.5m
Br	<i>Banksia ericifolia</i> 'Little Eric'	Dwarf Banksia	2.5 litre	1.5 x 0.9m
Cc	<i>Callistemon</i> 'Captain Cook'	Dwarf Bottlebrush	2.5 litre	1.5 x 1.2m
Ec	<i>Echium candicans</i>	Pride Of Madiera	2.5 litre	1.5 x 1.5m
Hr	<i>Hibiscus rosa-sinensis</i>	Hibiscus	2.5 litre	2 x 1.5m
Lc	<i>Loropetalum chinense</i>	Fringe Flower	5 litre	1.8 x 1.5m

SMALL SHRUBS

Bm	<i>Buxus microphylla</i> var. <i>microphylla</i>	Dwarf Box	2.5 litre	0.3 x 0.3m
Cc	<i>Coprosma cvs</i>	Mirror Plant	2.5 litre	1.5 x 1.2m
Is	<i>Ixora chinensis</i>	Prince of Orange	2.5 litre	1 x 0.7m
Rc	<i>Raphiolepis cvs</i>	Dwarf Indian Hawthorn	2.5 litre	1 x 0.7m
Ng	<i>Nandina</i> 'Gulf Stream'	Dwarf Sacred Bamboo	2.5 litre	0.75 x 0.4m
Wz	<i>Westringia</i> 'Zena'	Dwarf Coast Rosemary	2.5 litre	0.8 x 0.8m

LARGE ACCENT

Ca	<i>Cordyline australis</i> 'Sundance'	Cordyline	15 litre	2 x 1.2m
Cy	<i>Cycas revoluta</i>	Cycad	15 litre	1.5 x 1.2m
De	<i>Doryanthes excelsa</i>	Gymea Lily	15 litre	1.5 x 1.5m
Pt	<i>Phormium tenax</i>	NZ Flax	5 litre	1.5 x 1.2m
Mc	<i>Macrozamia communis</i>	Burrawang	15 litre	1.5 x 1.5m

MEDIUM ACCENT

Ap	<i>Agapanthus praecox</i>	Agapanthus	2.5 litre	0.4 x 0.4m
Cc	<i>Cordyline</i> 'Red Sensation'	Dwarf Red Cordyline	2.5 litre	1 x 1m
Lm	<i>Liriope</i> 'Evergreen Giant'	Lily Turf	2.5 litre	0.6 x 0.4m
Lg	<i>Libertia grandiflora</i>	NZ Satin Flower	2.5 litre	0.5 x 1m
Px	<i>Philodendron</i> 'Xanadu'	Dwarf Philodendron	2.5 litre	0.5 x 0.5m

SMALL ACCENT

Lm	<i>Liriope muscari</i>	Lily Turf	2.5 litre	0.3 x 0.3m
Pb	<i>Phormium</i> 'Bronze Baby'	Dwarf NZ Flax	2.5 litre	0.5 x 0.4m

GROUNDCOVERS

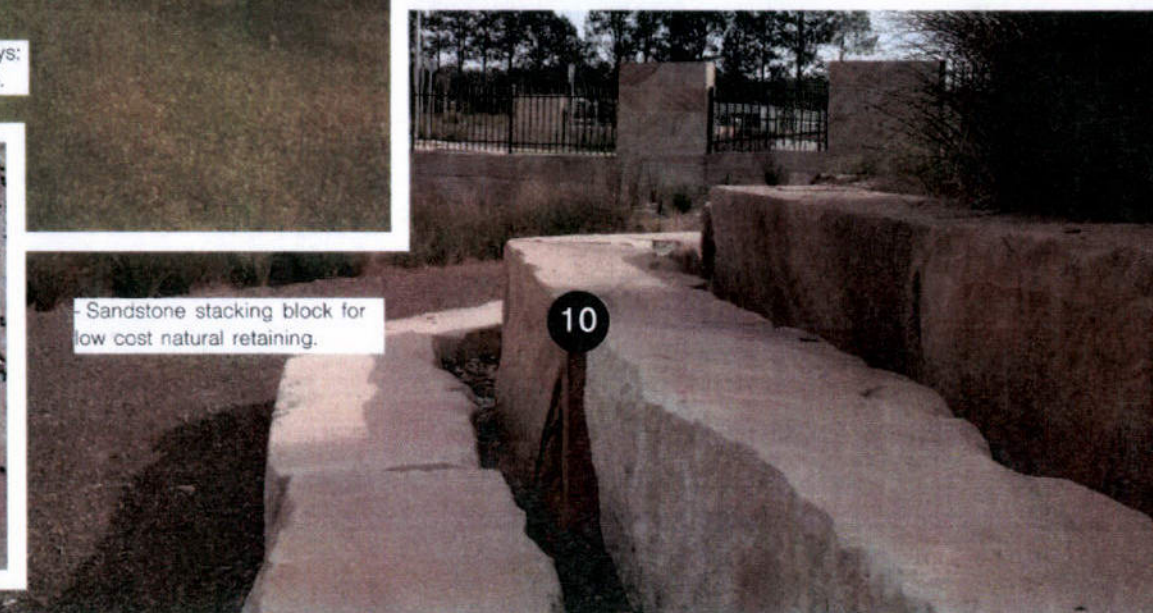
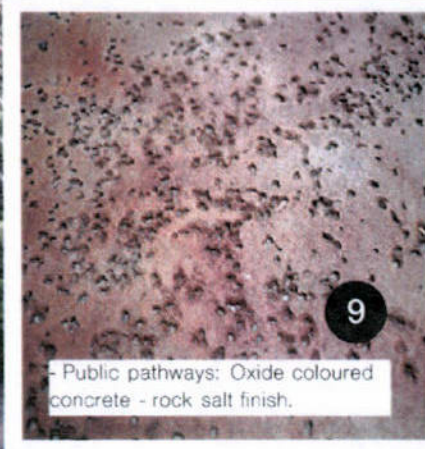
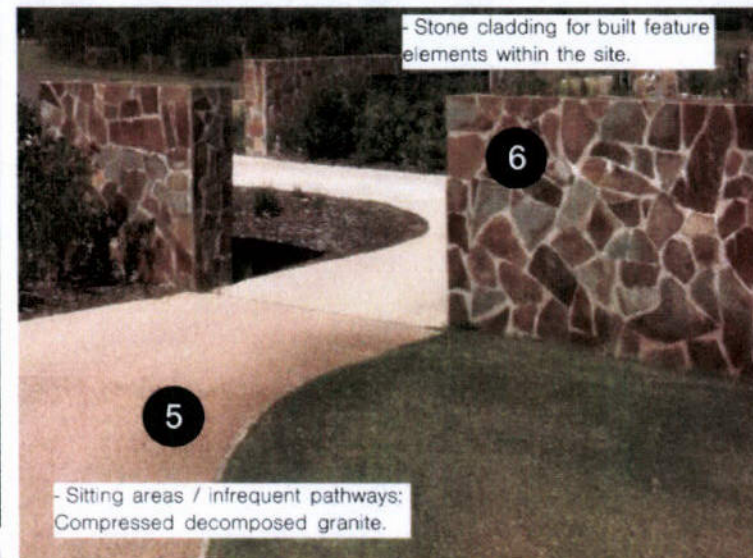
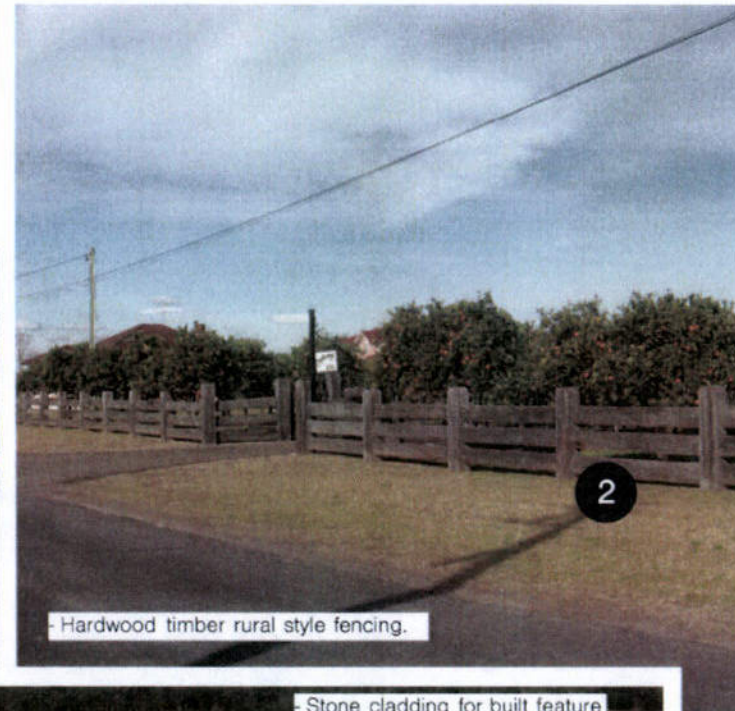
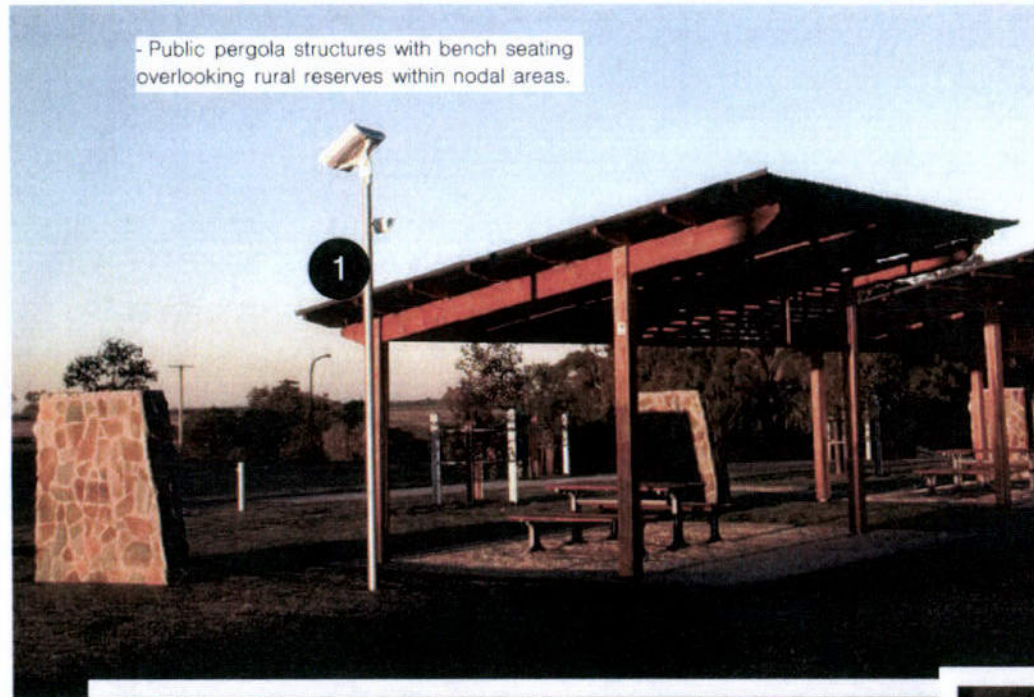
Mp	<i>Myoporum parvifolium</i> 'Fine Leaf Form'	Creeping Boobialla	2.5 litre	
Jc	<i>Juniperus conferta</i>	Shore Juniper	2.5 litre	
Vo	<i>Viola hederacea</i>	Native Violet	2.5 litre	

PROJECT:
Eleebana Shores
SITE:
Burton Road, Mt Hutton
CLIENT:
Eleebana Shores Retirement Pty Ltd.
DATE:
03.6.2014
JOB NUMBER:
9861.5
DRAWN:
BJR
SCALE:
N/A
NO. IN SET:
19 of 20
REVISION:
E

materials + components

Eleebana Shores - Seniors living retirement village development

20



PROJECT:
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